

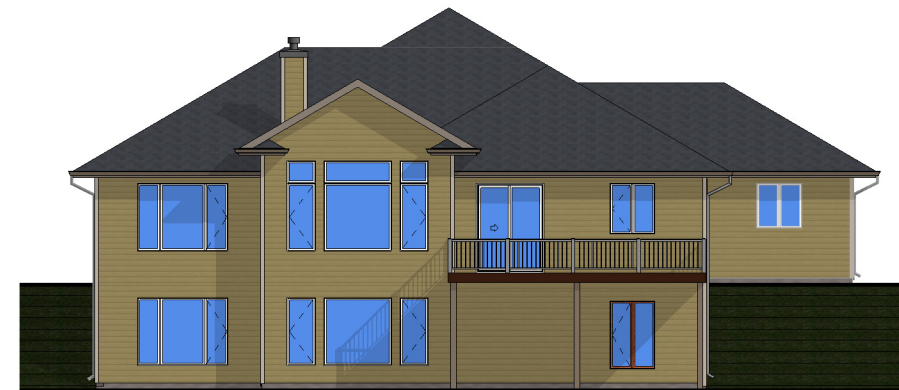
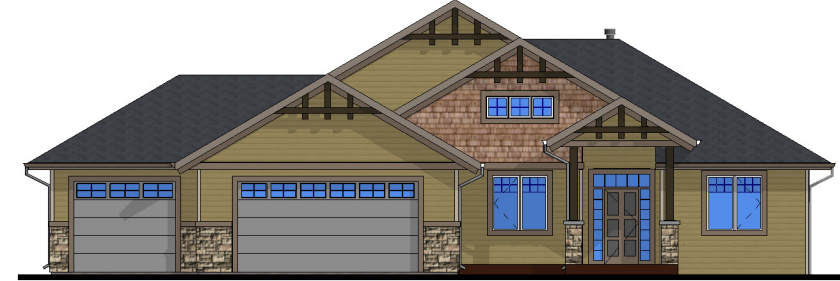


B.M.W
DESIGN AND DRAFTING

SPRING LAKE RANCH BUNGALOW

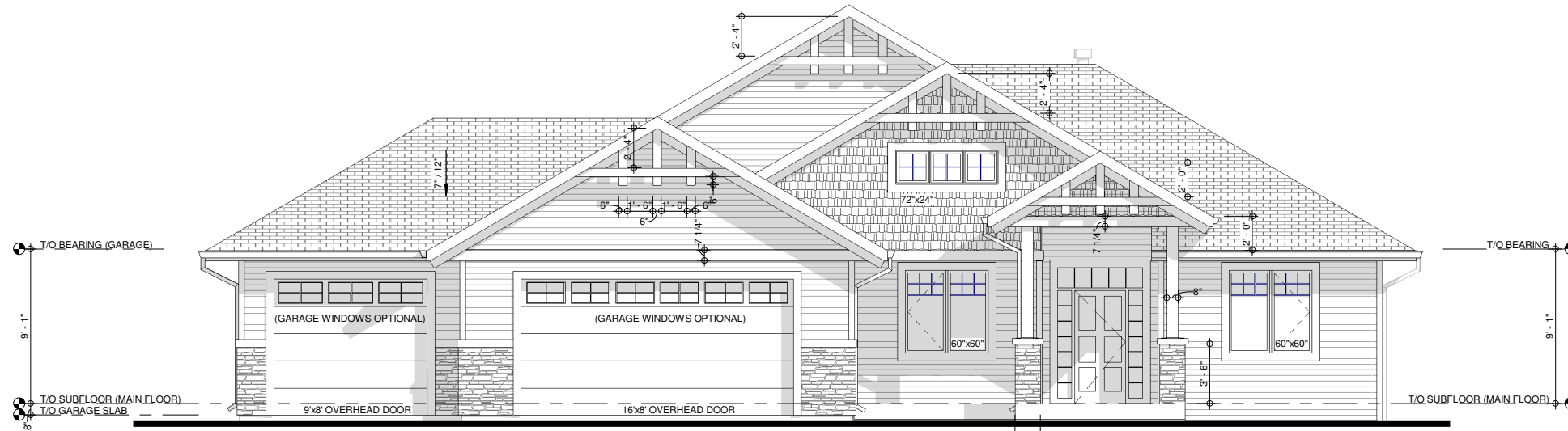
780-952-0955
•RESIDENTIAL DESIGNING•

8520-175 AVE
EDMONTON • AB T5Z 3Z5

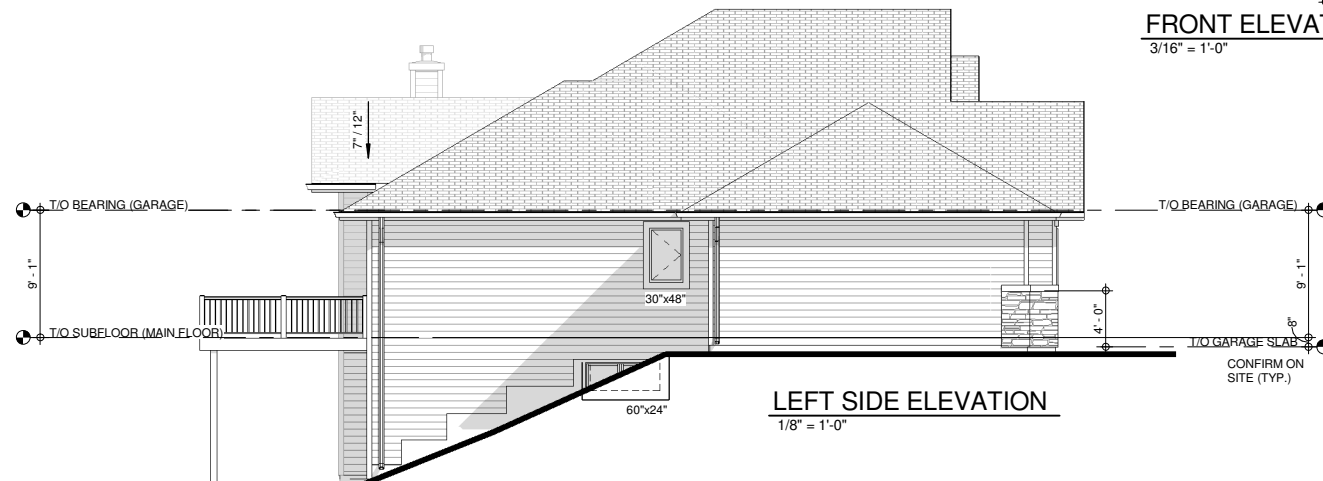


MAR 2013
JOB NUMBER= 2013-03
LOT=
BLOCK=
PLAN=
SUBDIVISION=

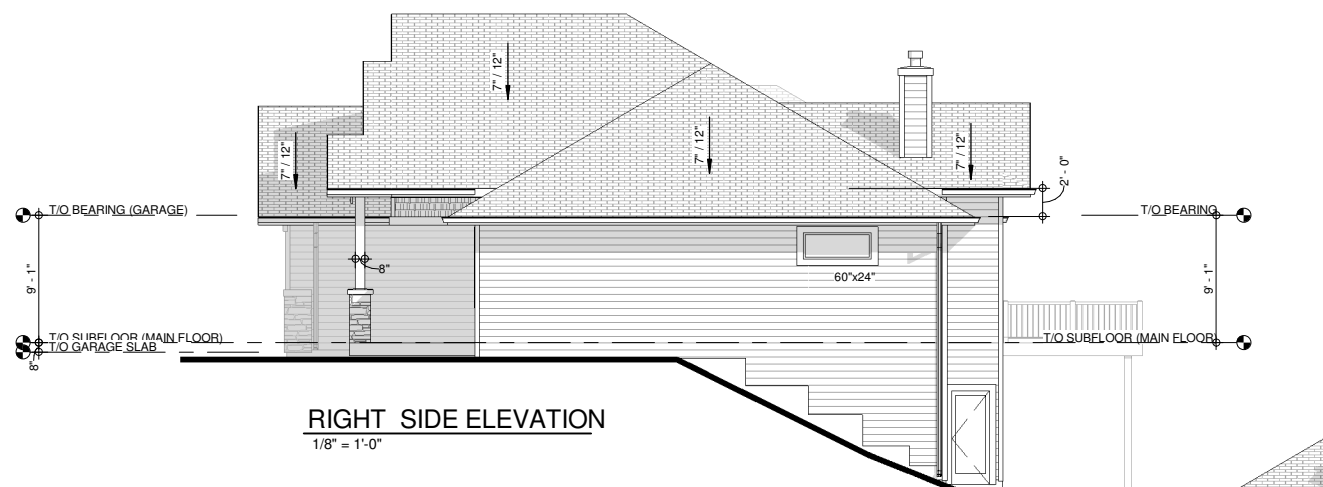
FLOOR AREAS	(SQ.FT.)
BASEMENT FLOOR	1665
MAIN FLOOR	1682
SECOND FLOOR	n/a
TOTAL	1682



FRONT ELEVATION
3/16" = 1'-0"



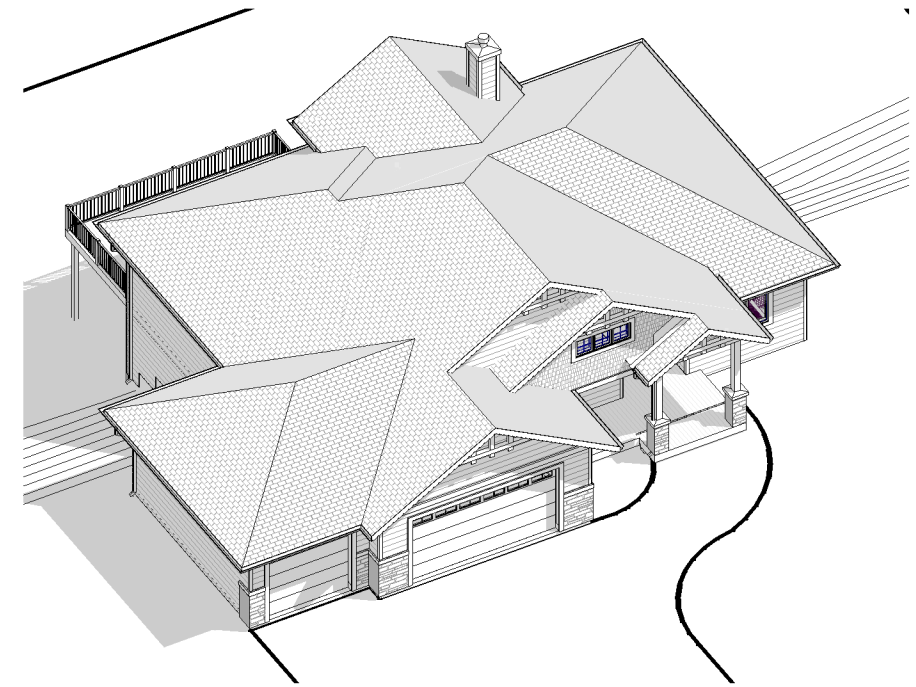
LEFT SIDE ELEVATION
1/8" = 1'-0"



RIGHT SIDE ELEVATION
1/8" = 1'-0"



BACK ELEVATION
1/8" = 1'-0"



- EXTERIOR ELEVATION KEYNOTES**
BUILDERS SPECIFICATION MAY GOVERN OVER THESE NOTES
- EXTERIOR WALL FINISH**
-HARDIBOARD FINISH C/W REQ'D TRIMS AND FLASHINGS
-MANUFACTURES STONE AS SHOWN
- ROOFING FINISH**
-ASPHALT SHINGLES
- FASCIA & SOFFITS**
-PREFINISHED PERFORATED SOFFIT
-FASCIA AS PER BUILDER
- EAVESTROUGH**
-PREFINISHED METAL EAVESTROUGH AND DOWNSPOUTS WITH EXTENTIONS, C/W ALL MOUNTING HARDWARE.
- WINDOWS**
-PVC WINDOW UNITS C/W REQ'D GRILLES AS SHOWN (REFER TO WINDOW SHOP DRAWINGS FOR EXACT TYPE, SIZE AND STYLE OF WINDOW. BUILDER/OWNER TO VERIFY DIRECTION AND TYPE OF ALL OPENERS.
- PARGING**
-CEMENT PARGING ON FOUNDATION WALL. MAX. 1'-0" ON FRONT AND 2'-0" ON SIDES
- FRONT DECK**
-DECK CONSTRUCTION AS PER BUILDER
- COLUMNS**
-6" SQ. TIMBER COLUMNS WITH STONE FINISHED BASE AND CONCRETE CAP
- REAR DECK**
-DECK CONSTRUCTION AS PER BUILDER
- WINDOW, DOOR AND SHADOWBOARD TRIMS**
-PROVIDE 4" WIDE HARDIBOARD TRIM
- MISC.**
-DECORATIVE GABLE TRIMS AS DIMENSIONED
-6x6 HORIZONTAL, 4x6 VERTICAL

Wilcor Homes

SPRING LAKE RANCH
RANCH
Dream. Life. Here.

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B-M-W Design & Drafting
8520 75 AVE
EDMONTON, AB

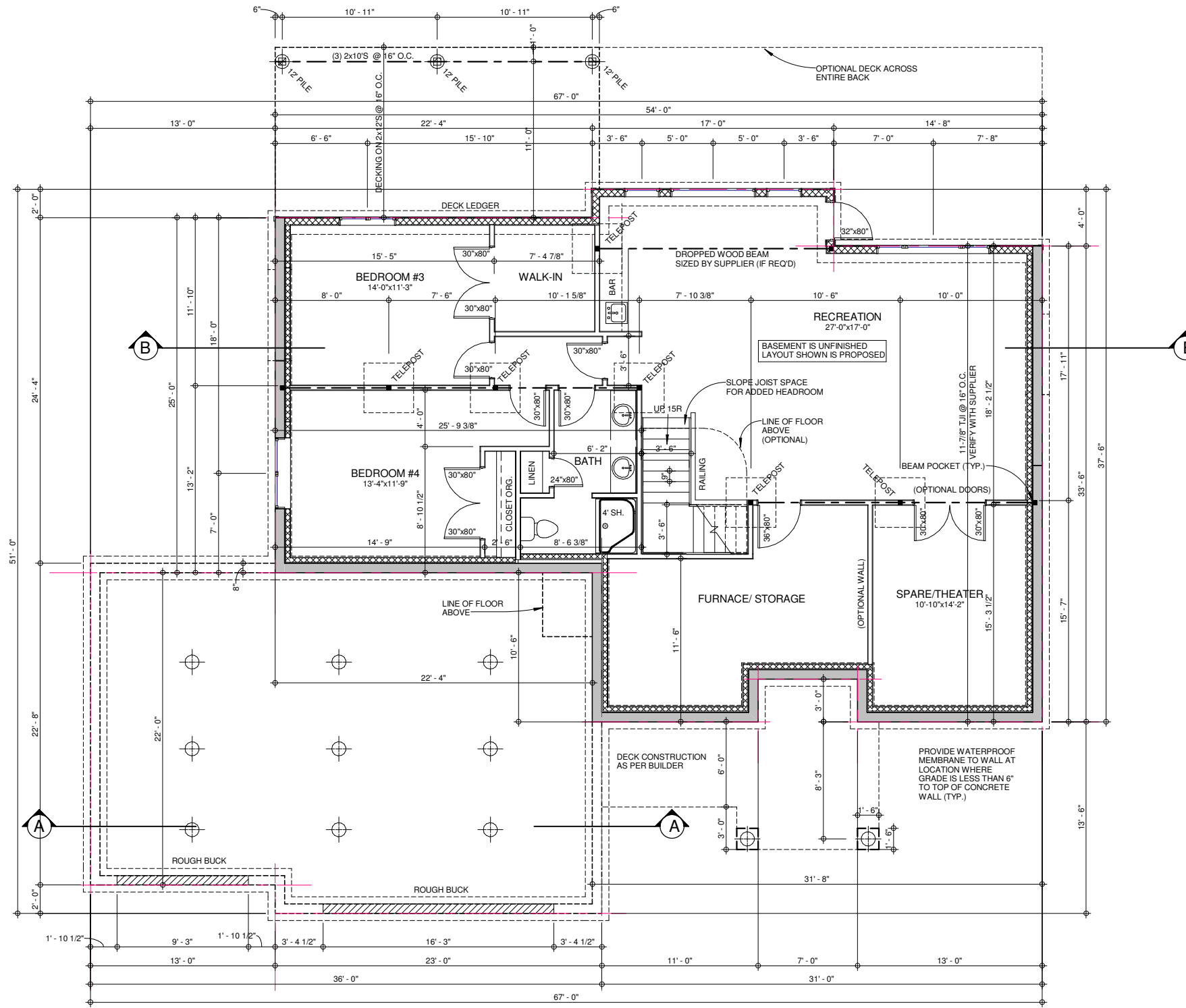
EXTERIOR ELEVATIONS
CUSTOM BUILD

SPRING LAKE RANCH BUNGALOW

A-1

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BASEMENT FLOOR PLAN
3/16" = 1'-0"

WALL LEGEND

- CAST IN PLACE FOUNDATION WALL WITH FROST WALL
- EXTERIOR 2x6 INSULATED WALL (INSULATE AND VAPOUR BARRIER BETWEEN HOUSE AND GARAGE)
- 2x6 INTERIOR PLUMBING-BEARING WALL
- 2x4 INTERIOR WALL

BASEMENT NOTES

(BASEMENT IS UNDEVELOPED)
BUILDERS SPECIFICATION MAY GOVERN OVER THESE NOTES

FOUNDATION WALL CONSTRUCTION

-8" THK. REINFORCED CONCRETE WALL AS PER ENGINEERED DESIGN ON 20"x10" FOOTING REINFORCED WITH 2-10M CONT. (TYP.) (FOOTING REQUIREMENTS TO BE VERIFIED BY SOILS REPORT)

GARAGE FOUNDATION WALL CONSTRUCTION

-8" THK. REINFORCED CONCRETE WALL AS PER ENGINEERED DESIGN ON 20"x10" FOOTING REINFORCED WITH 2-10M CONT. (TYP.) (FOOTING REQUIREMENTS TO BE VERIFIED BY SOILS REPORT)

PILE CONSTRUCTION

-12" DIA. x 12'-0" LONG CONC. PILES

COLUMN FOOTINGS

-STEEL TELEPOST ON 42" SQ. x 10" THK. FOOTING R/W 6-15M E.W. TYPICAL
-TELEPOST AND CONCRETE PAD SIZES TO BE VERIFIED ONCE BEAM LOADS ARE KNOWN

GARAGE SLAB

-5" THK. CONCRETE SLAB R/W 10M @ 18" O.C. E.W. ON COMPACTED FILL MATERIAL (TYP.)
-C/W 12' LONG PILES R/W 4-10M VERTICAL

BASEMENT SLAB

-3-1/2" THK. CONC. ON 6 MIL POLY VAPOUR BARRIER ON COMPACTED SAND. (REINFORCE IF REQUIRED)

GENERAL NOTES

-PROVIDE CONTINUOUS FILTER FABRIC SOCK AROUND 4" WEAVING TILE TO BE INSTALLED AROUND ENTIRE PERIMETER OF STRIP FOOTING WITH MIN. 12" GRAVEL COVER AND TIED TO DRAINAGE SYSTEM ACCORDING TO LOCAL BYLAWS (TYP.)

-PROVIDE GALVANIZED WINDOW WELLS TO SUIT GRADE. FILL WELLS WITH FILTER FABRIC UNDER 6" OF GRAVEL. PROVIDE PVC PIPE CONNECTION TO WEAVING TILE. MODIFY MAIN FLOOR ELEVATION AS REQ'D. VERIFY CONDITION ON SITE.

-PROVIDE JOIST BLOCKING AS PER JOIST MANUF. (TYP.)

-VERIFY BEAM AND JOIST SIZES WITH MANUF. (TYP.)

-PROVIDE DECK NAILER AS REQUIRED

-PROVIDE BEAM POCKETS AS NEEDED FOR BEAM LAYOUT. VERIFY LOCATION AND SIZES WITH JOIST LAYOUT DRAWINGS.

-JOIST AND BEAM LAYOUT TO BE CONFIRMED BY SUPPLIER OF JOISTS AND BEAMS.

-INSULATE, SEAL AND PROVIDE PREFINISHED METAL SOFFIT TO ALL CANTILEVERS

-SUMP PIT, FURNACE, HOT WATER TANK, ELECTRICAL PANEL LOCATIONS TO BE CONFIRMED ON SITE

CONSTRUCTION TYPES

-BUILDERS SPECIFICATION MAY GOVERN OVER THESE NOTES

FOUNDATION WALL CONSTRUCTION

-8" CONCRETE WALL WITH DAMPROOFING
-2x4 STUDS @ 16" O.C. INTERIOR FROST WALL
-R-12 BATT INSULATION
-6 MIL POLY VAPOUR BARRIER
-1/2" G.W.B.

BASEMENT FLOOR CONSTRUCTION

-FINISH FLOORING AS SPEC'D
-3-1/2" THK. CONC. FLOOR SLAB REINFORCED AS REQUIRED
-6 MIL POLY VAPOUR BARRIER
-COMPACTED FILL

MAIN FLOOR CONSTRUCTION

-FINISH FLOORING AS PER OWNER
-3/8" UNDERLAY (WHERE REQ'D)
-3/4" T&G FLOOR SHEATHING (GLUED & SCREWED)
-FLOOR JOIST/BEAMS AS PER PLAN (VERIFIED WITH SUPPLIER)
-1/2" G.W.B. CEILING

EXTERIOR WALL CONSTRUCTION

-EXTERIOR WALL FINISH AS PER ELEVATIONS
-AIR/MOISTURE BARRIER
-3/8" EXTERIOR SHEATHING
-2x6 WOOD STUDS @ 16" O.C.
-R-20 BATT INSULATION
-6 MIL POLY VAPOUR BARRIER
-1/2" G.W.B.

INTERIOR WALL CONSTRUCTION

-1/2" G.W.B.
-2x4 WOOD STUDS @ 16" O.C.
-INSULATE AS INSTRUCTED BY OWNER
-1/2" G.W.B.
-PROVIDE 2x6 STUDS WHERE REQ'D FOR PLUMBING

SLOPED ROOF CONSTRUCTION

-ROOFING MATERIAL AS SPEC'D
-UNDERLAYMENT, EAVE, VALLEY PROTECTION
-7/16" EXT. SHEATHING ROOF TRUSSES AS PER MANUF.
-R-40 LOOSE FILL BATT INSULATION
-6 MIL POLY VAPOUR BARRIER
-1/2" CEILING G.W.B.

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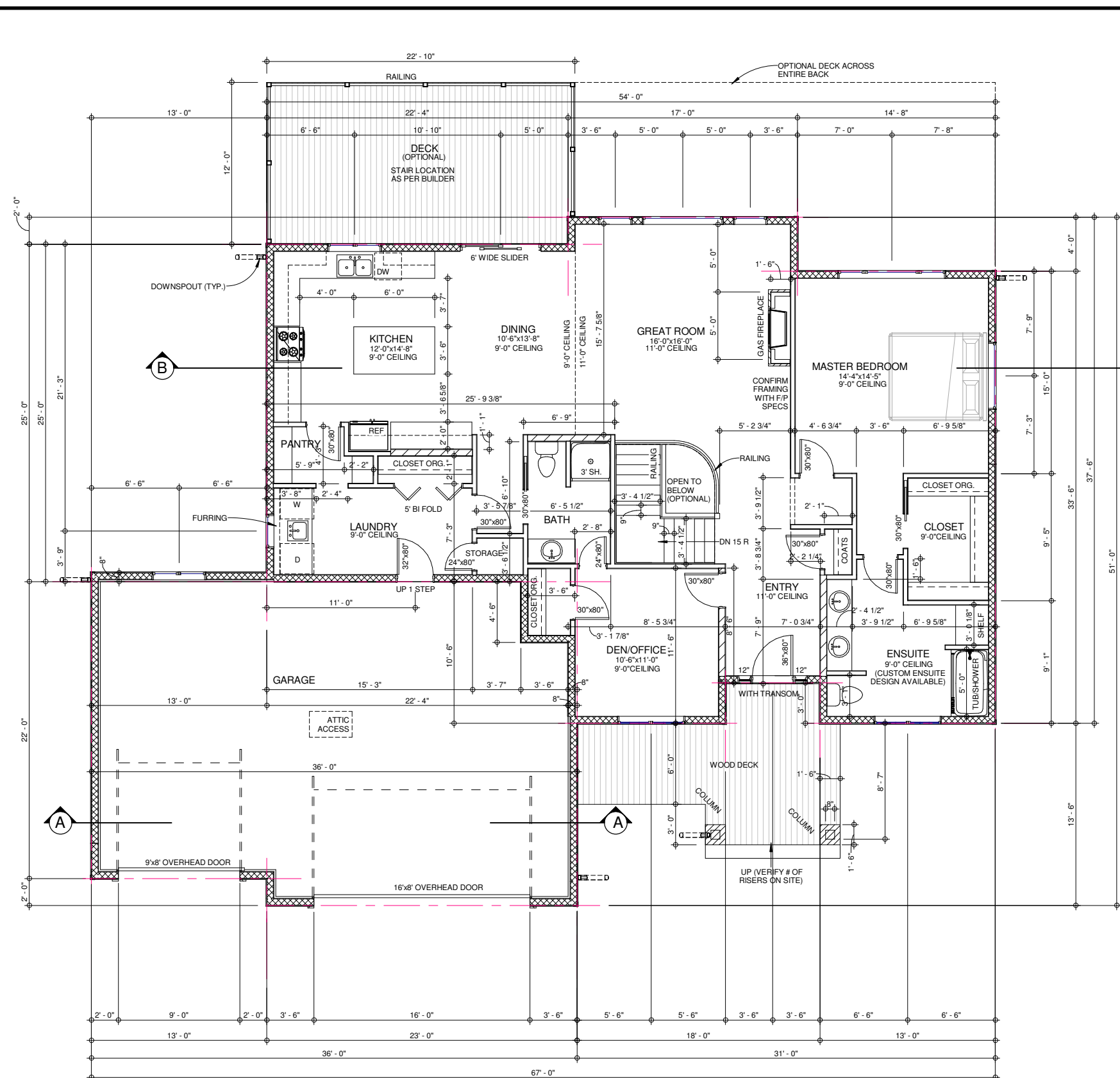
B-M-W Design & Drafting
8520 75 AVE
EDMONTON, AB

BASEMENT FLOOR PLAN

CUSTOM BUILD

SPRING LAKE RANCH BUNGALOW

A-2



MAIN FLOOR PLAN
3/16" = 1'-0"

GENERAL NOTES

- ALL SCOPES OF WORK SHALL MEET THE ALBERTA BUILDING CODE (LATEST EDITION).
- THE CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS REQUIRED FOR COMPLETING PROJECT.
- OWNER SHALL INSURE QUALITY OF WORK MEETS HIS/HER STANDARDS.
- THE CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR OBTAINING ANY STRUCTURAL, MECHANICAL, ELECTRICAL DRAWINGS OR APPROVALS NEEDED TO COMPLETE THE PROJECT OR FOR OBTAINING PERMITS.
- THE CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR OBTAINING SOILS REPORT AS REQUIRED AND INSURING FOOTINGS/FOUNDATIONS AS DRAWN ARE SUFFICIENT
- THE CONTRACTOR/OWNER SHALL INSURE ALL ASPECTS OF THE REQUIRED BYLAWS ARE MET.
- ALL UTILITY HOOKUPS SHALL CONFORM WITH ALL RELEVANT REGULATIONS
- PRIOR TO CONSTRUCTION, ALL CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH THE DRAWINGS AND INSURE ALL ASPECTS OF THE A.B.C. ARE MET.
- ALL CONTRACTORS SHALL CARRY LIABILITY INSURANCE ACCEPTABLE TO THE OWNER.
- ALL LABOUR LAWS AND SAFETY STANDARDS MUST BE ADHERED TO.
- THE CONTRACTOR/OWNER SHALL HIRE AN ALBERTA LAND SURVEYOR FOR THE PURPOSE OF LOCATING THE PROPOSED BUILDING ON SITE AND ESTABLISHING GRADES.
- THE OWNER SHALL BE RESPONSIBLE FOR THE SELECTION OF ALL INTERIOR DESIGN ELEMENTS (E.G. TUBS, FIXTURES, LIGHTS, ETC.)
- ANY FUEL FIRED APPLIANCE AS CHOSEN BY THE OWNER SHALL BE INSTALLED IN ACCORDANCE WITH THE ALBERTA BUILDING CODE.
- FOOTINGS SHALL REST ON UNDISTURBED SOIL AND HAVE MIN 5'-0" OF FROST PROTECTION.
- JOIST AND TRUSS LAYOUT/SIZES SHALL BE VERIFIED BY SUPPLIER. SHOP DRAWINGS OF JOIST/TRUSSES SHALL BE PROVIDED AND SHALL NOTE ANY EXTRA FOOTING, BEAMS, COLUMNS, JOISTS, ETC. TO INSURE CONSTRUCTION MEETS CODE. ANY CHANGE IN FOOTING SIZE, QUANTITY, AND LOCATION AS REQUIRED BY JOIST SUPPLIER TO BE NOTED BY CONTRACTOR/OWNER. CONTRACTOR/OWNER TO INSURE MODIFICATIONS ARE CARRIED OUT.
- WINDOW SIZES ARE SHOWN ON BUILDING ELEVATIONS AND ARE SHOWN BY NOMINAL SIZE. OWNER TO VERIFY STYLE, TYPE, AND EXACT ROUGH OPENING SIZE PRIOR TO CONSTRUCTION. OWNER TO ALSO VERIFY DIRECTION OF OPENERS
- ALL FRAMING SURROUNDING TUBS, SHOWER, ETC. AS SELECTED BY OWNER SHALL BE VERIFIED TO INSURE FIXTURES ARE INSTALLED CORRECTLY.
- ALL BATHROOM WALLS TO BE INSULATED WITH BATT INSULATION FOR NOISE ATTENUATION. OWNER TO INSTRUCT FOR OTHER INSULATED WALLS.
- PRE-MANUFACTURED TRUSSES MUST BE DESIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF ALBERTA.
- INCREASE WIDTH OF WALL TO CONCEAL WIDTH OF DROP BEAM IF APPLICABLE. VERIFY WITH BEAM SIZES.
- INSURE NO PLUMBING PIPES ARE PLACED IN EXTERIOR WALLS. VERIFY ON SITE, EXACT LOCATION OF REQUIRED PLUMBING PIPES.
- PROVIDE CLOSER & WEATHERSTRIPPING ON DOOR BETWEEN GARAGE AND LIVING AREA (IF APPLICABLE). ALL WALLS/CEILING BETWEEN GARAGE AND LIVING SPACE TO BE CONSTRUCTED TO PROVIDE AN EFFECTIVE BARRIER TO GAS AND EXHAUST FUMES
- PROVIDE REQUIRED SOFFIT PROTECTION, FIRE RATED EXTERIOR WALL, GLAZING LIMITATIONS AS PER THE REQUIREMENTS OF THE HIGH INTENSITY RESIDENTIAL FIRES (HIRF) FIRE CODES IF APPLICABLE**

CONSTRUCTION TYPES

-BUILDERS SPECIFICATION MAY GOVERN OVER THESE NOTES

FOUNDATION WALL CONSTRUCTION

- 8" CONCRETE WALL WITH DAMPPROOFING
- 2x4 STUDS @ 16" O.C. INTERIOR FROST WALL
- R-12 BATT INSULATION
- 6 MIL POLY VAPOUR BARRIER
- 1/2" G.W.B.

BASEMENT FLOOR CONSTRUCTION

- FINISH FLOORING AS SPEC'D
- 3-1/2" THK. CONC. FLOOR SLAB REINFORCED AS REQUIRED
- 6 MIL POLY VAPOUR BARRIER
- COMPACTED FILL

MAIN FLOOR CONSTRUCTION

- FINISH FLOORING AS PER OWNER
- 3/8" UNDERLAY (WHERE REQ'D)
- 3/4" T&G FLOOR SHEATHING (GLUED & SCREWED)
- FLOOR JOIST/BEAMS AS PER PLAN (VERIFIED WITH SUPPLIER)
- 1/2" G.W.B. CEILING

EXTERIOR WALL CONSTRUCTION

- EXTERIOR WALL FINISH AS PER ELEVATIONS
- AIR/MOISTURE BARRIER
- 3/8" EXTERIOR SHEATHING
- 2x6 WOOD STUDS @ 16" O.C.
- R-20 BATT INSULATION
- 6 MIL POLY VAPOUR BARRIER
- 1/2" G.W.B.

INTERIOR WALL CONSTRUCTION

- 1/2" G.W.B.
- 2x4 WOOD STUDS @ 16" O.C.
- INSULATE AS INSTRUCTED BY OWNER
- 1/2" G.W.B.
- PROVIDE 2x6 STUDS WHERE REQ'D FOR PLUMBING

SLOPED ROOF CONSTRUCTION

- ROOFING MATERIAL AS SPEC'D
- UNDERLAYMENT, EAVE, VALLEY PROTECTION
- 7/16" EXT. SHEATHING ROOF TRUSSES AS PER MANUF.
- R-40 LOOSE FILL/BATT INSULATION
- 6 MIL POLY VAPOUR BARRIER
- 1/2" CEILING G.W.B.

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WALL LEGEND

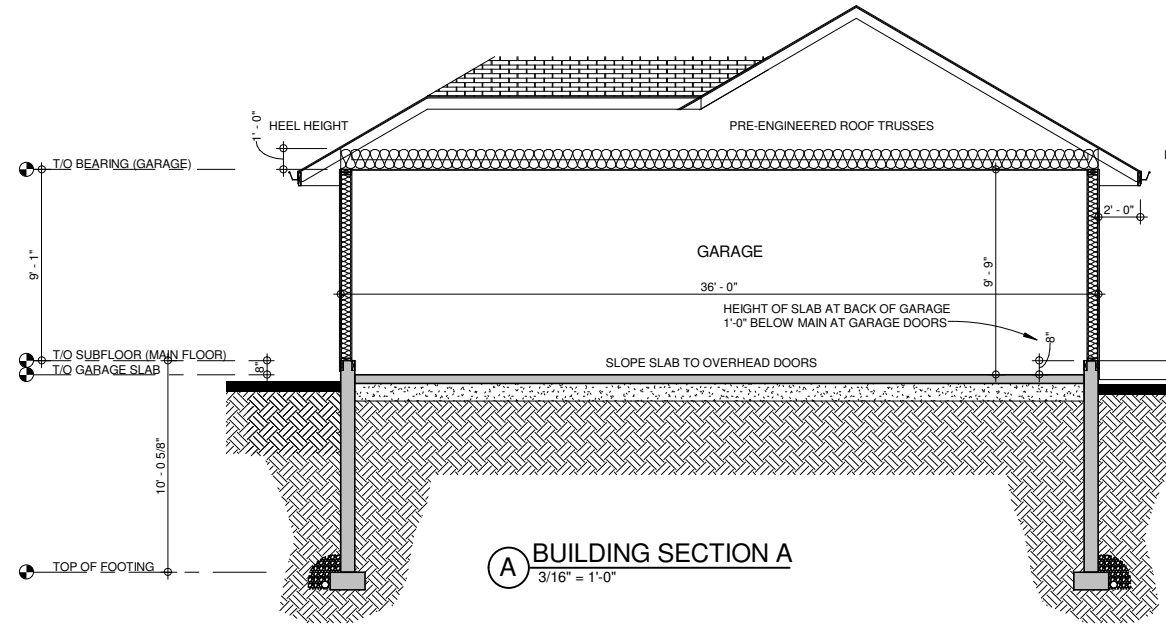
- CAST IN PLACE FOUNDATION WALL WITH FROST WALL
- EXTERIOR 2x6 INSULATED WALL (INSULATE AND VAPOUR BARRIER BETWEEN HOUSE AND GARAGE)
- 2x6 INTERIOR PLUMBING/BEARING WALL
- 2x4 INTERIOR WALL

Wilcor Homes
SPRING LAKE RANCH
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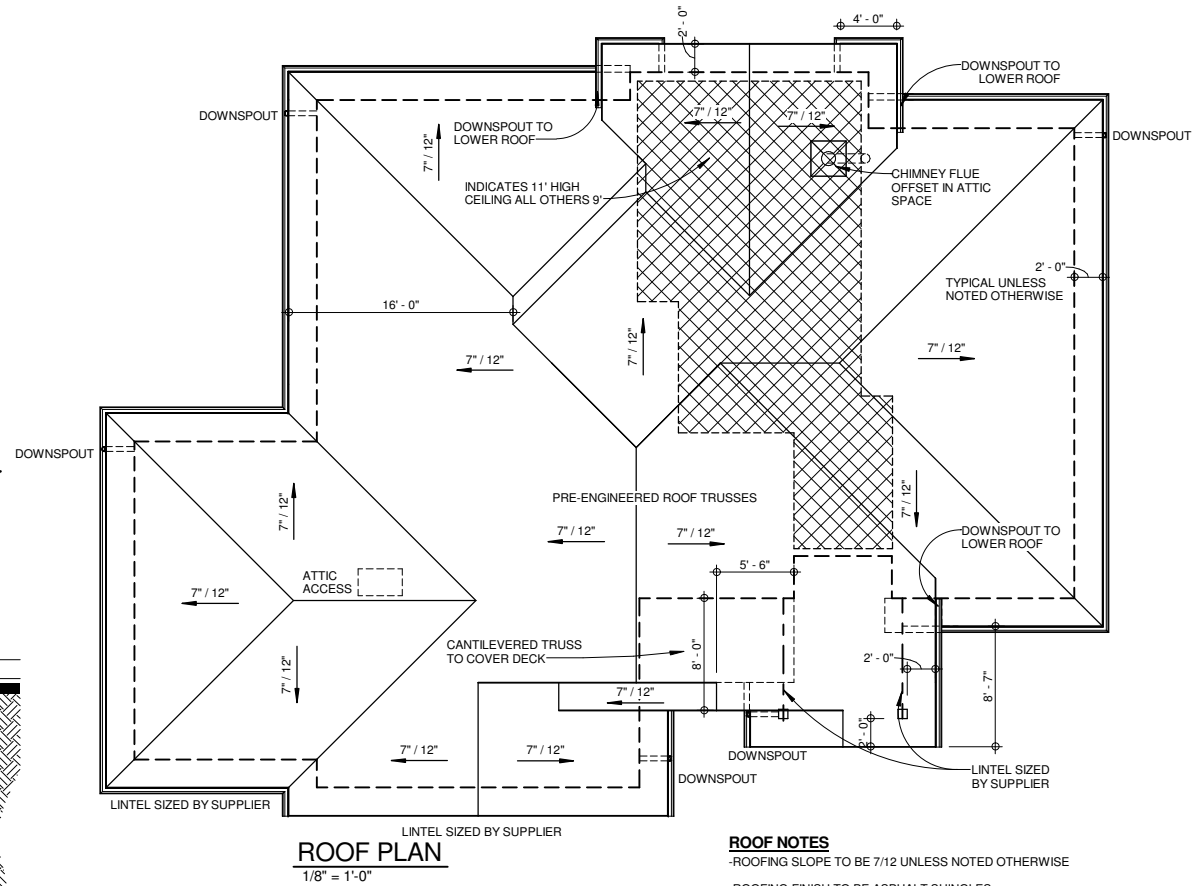
SPRING LAKE RANCH BUNGALOW

Project No: 2019.03	Date: MAR 2013	Scale: 3/16" = 1'-0"	Drawn by: BMW
Legal Description:	Lot:	Block:	Plan:
Drawings are a graphic representation only. Actual products and materials used may vary from depicted drawings. Sales contract and specifications govern these drawings.	Client Approval:		
Drawing Title: MAIN FLOOR PLAN	Builder: CUSTOM BUILD		
Design & Drafting 8520-75 AVE EDMONTON, AB			

A-3



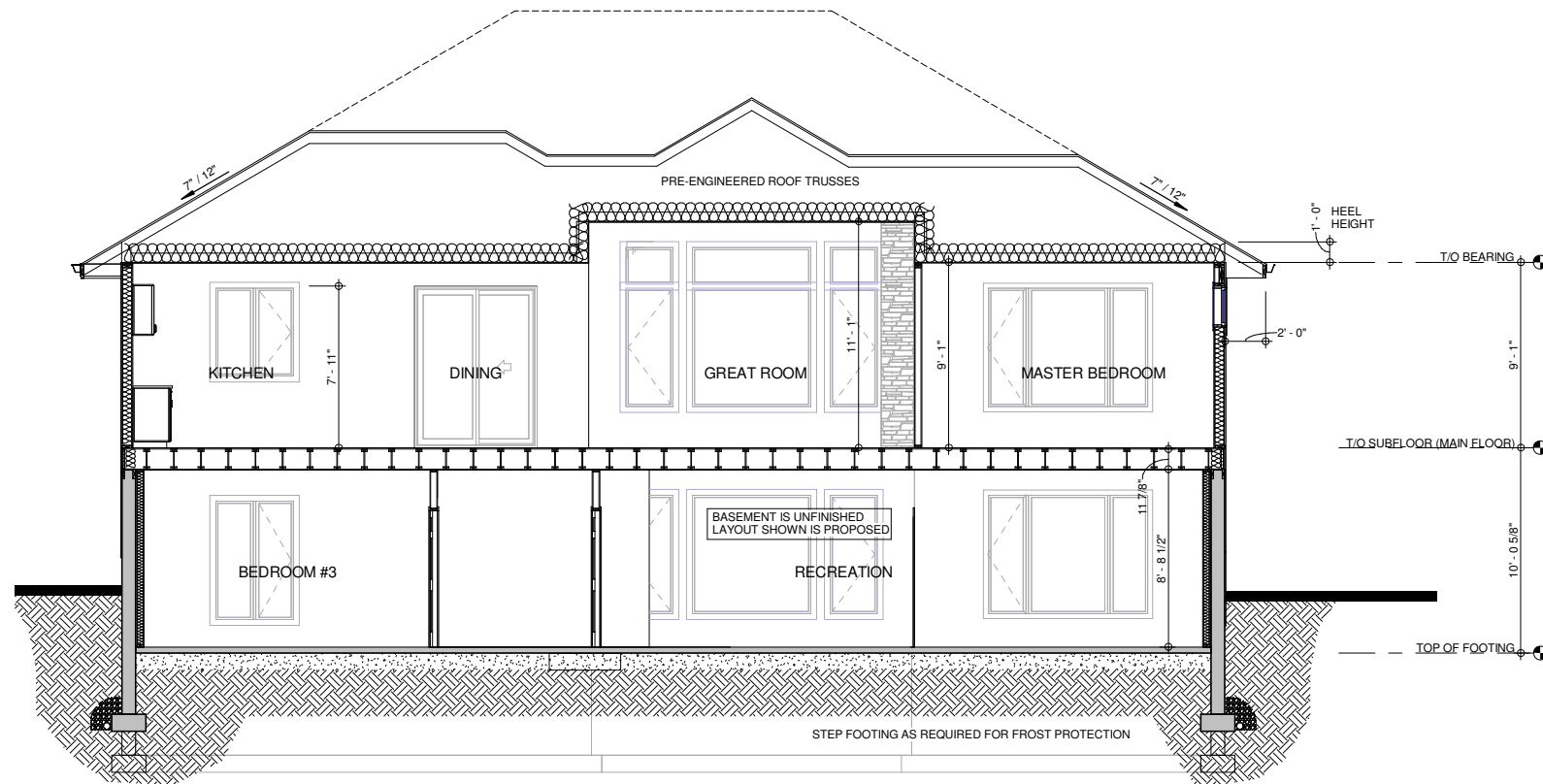
A BUILDING SECTION A
3/16" = 1'-0"



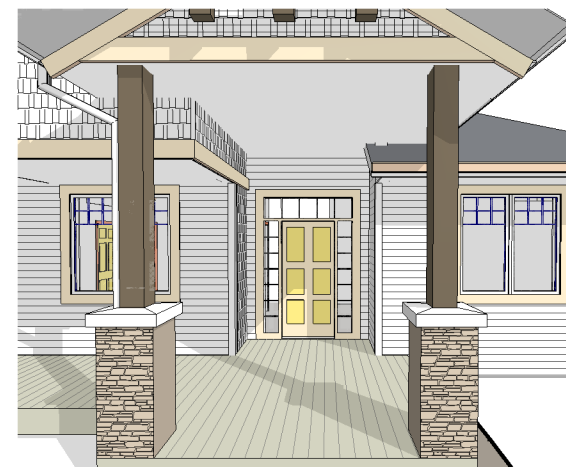
ROOF PLAN
1/8" = 1'-0"

ROOF NOTES

- ROOFING SLOPE TO BE 7/12 UNLESS NOTED OTHERWISE
- ROOFING FINISH TO BE ASPHALT SHINGLES
- PROVIDE INSULATED ACCESS HATCH C/W WEATHERSTRIPPING
- PROVIDE ROOF VENTS AS REQUIRED
- PROVIDE PREFINISHED METAL EAVESTROUGH C/W REQ'D MOUNTING HARDWARE AND R.W.L. & EXTENSIONS
- PRE-MANUFACTURED HIGH HEEL ROOF TRUSSES TO BE DESIGNED AND SEALED BY A PROFESSIONAL ENGINEER
- VERIFY LOCATION OF ALL R.W.L. ON SITE
- PROVIDE PEEL AND STICK MEMBRANE TO ALL EAVE AND VALLEYS AND TO ALL LOW SLOPE ROOFS



B BUILDING SECTION B
3/16" = 1'-0"



3D VIEW OF FRONT CANOPY

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Scale: As indicated	Block:	
Drawn by: BMW	Plan:	
	Station:	

Drawing Title: ROOF PLAN AND BUILDING SECTIONS	Client Approval:
Builder: CUSTOM BUILD	

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