

# SPRING LAKE RANCH #2 RESIDENCE

780-952-0955  
•RESIDENTIAL DESIGNING•

8520-175 AVE  
EDMONTON • AB T5Z 3Z5



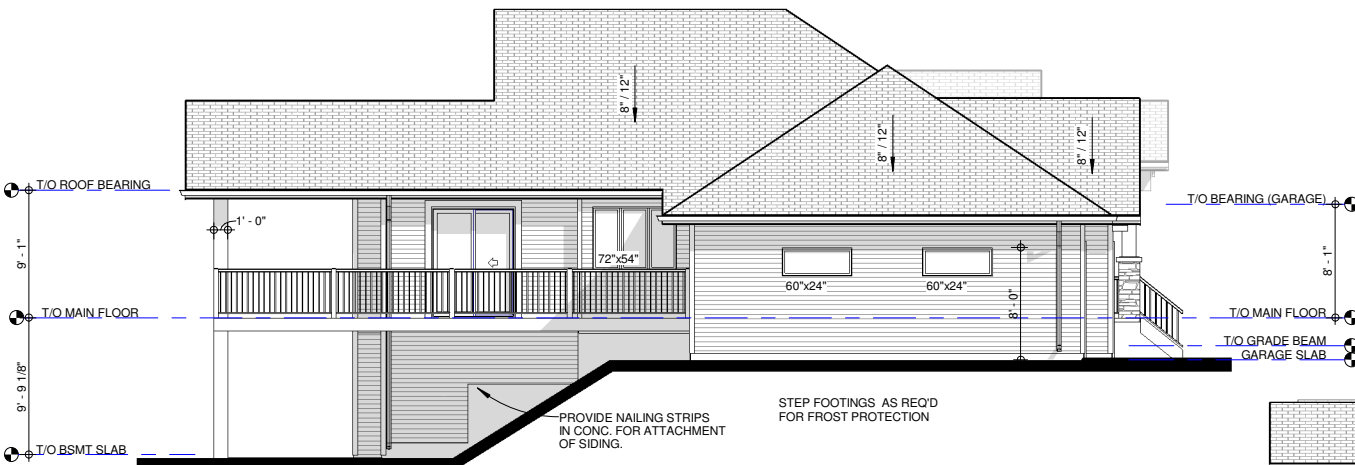
AUG 2012  
JOB NUMBER= 2012-50  
LOT= 19  
BLOCK=  
PLAN=  
SUBDIVISION= spring lake ranch

FLOOR AREAS	(SQ.FT.)
BASEMENT FLOOR	2019
MAIN FLOOR	1994
SECOND FLOOR	N/A
TOTAL	1994

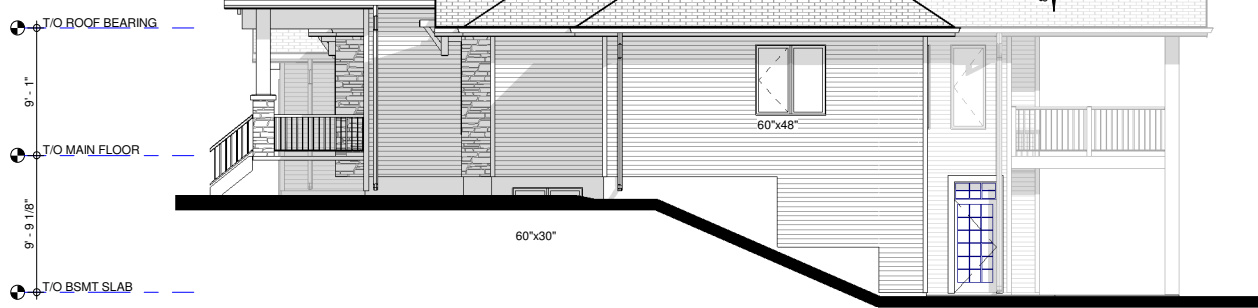




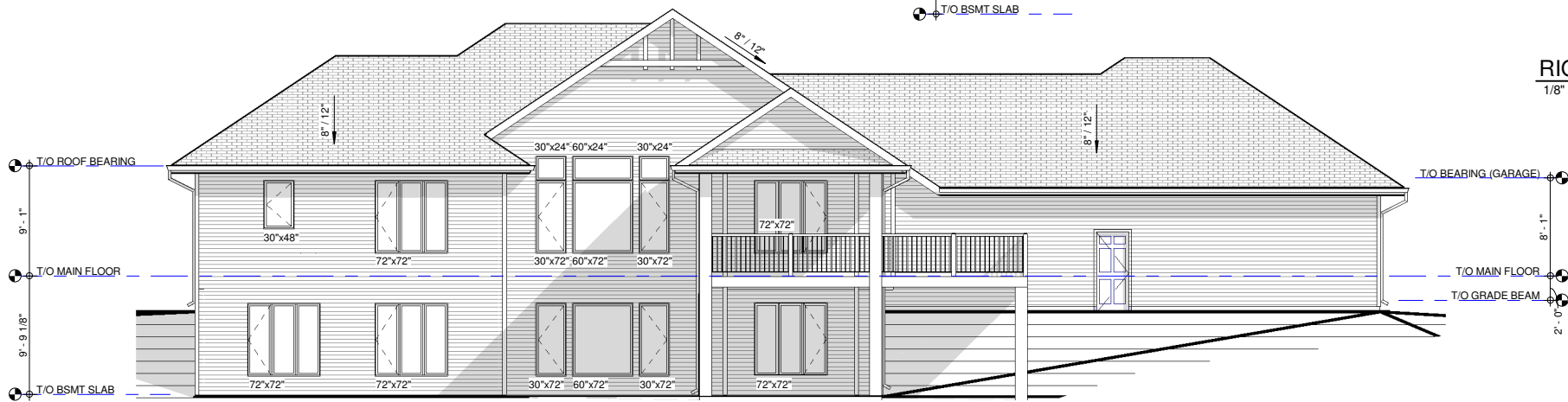
**FRONT ELEVATION**  
3/16" = 1'-0"



**LEFT SIDE ELEVATION**  
1/8" = 1'-0"



**RIGHT SIDE ELEVATION**  
1/8" = 1'-0"



**BACK ELEVATION**  
1/8" = 1'-0"

- EXTERIOR ELEVATION KEYNOTES**  
BUILDERS SPECIFICATION MAY GOVERN OVER THESE NOTES
- EXTERIOR WALL FINISH**  
-VINYL SIDING C/W REQ'D TRIMS AND FLASHINGS  
-MANUFACTURED STONE AS SHOWN
- ROOFING FINISH**  
-ASPHALT SHINGLES
- FASCIA & SOFFITS**  
-PREFINISHED PERFORATED SOFFIT  
-PREFINISHED METAL FASCIA ON 2x8 FRAMING
- EAVESTROUGH**  
-PREFINISHED METAL EAVESTROUGH AND DOWNSPOUTS WITH EXTENSIONS, C/W ALL MOUNTING HARDWARE.
- WINDOWS**  
-PVC WINDOW UNITS C/W REQ'D GRILLES AS SHOWN. (REFER TO WINDOW SHOP DRAWINGS FOR EXACT TYPE, SIZE AND STYLE OF WINDOW. BUILDER/OWNER TO VERIFY DIRECTION OF ALL OPENERS.
- PARGING**  
-CEMENT PARGING ON FOUNDATION WALL, MAX. 2'-0" HIGH
- REAR DECK**  
-DECK AND RAILING CONSTRUCTION AS PER OWNER
- FRONT VERANDA**  
-PRESSURE TREATED WOOD DECK AND RAILING (VERIFY WITH BUILDER)
- COLUMN CONSTRUCTION**  
-PREFINISHED METAL CLADDING ON BUILT UP POST AS DIMENSIONED, C/W 2x6 METAL CLAPPED TRIM. PROVIDE STONE FINISH BASE AS SHOWN
- WINDOW / DOOR TRIMS**  
-5-1/2" WIDE PREFINISHED METAL TRIM OR PREFINISHED METAL CLAPPED 2x6 TRIM AS NOTED
- CHIMNEY CORBEL DETAIL**  
-PREFINISHED METAL CLADDING ON 2x8 BLOCKING ON 2x12 BLOCKING
- BANDING**  
-PREFINISHED METAL CLADDING ON 2x6 BLOCKING AS SHOWN ON ELEVATIONS

Project No:	2012-50
Date:	ALG 2012
Scale:	As Indicated
Drawn by:	BMW

Legal Description:	Lot: 19
Block:	As Indicated
Plan:	Spring Lake Ranch
Subdivision:	Spring Lake Ranch
Client Approval:	

EXTERIOR ELEVATION	
Drawing Title:	
Builder:	
B-M-W	
Design & Drafting	
8320-73 AVE	
EDMONTON, AB	

**SPRING LAKE RANCH #2 RESIDENCE**

**A-1**

BMW DESIGN & DRAFTING SHALL NOT BE RESPONSIBLE FOR ANY VARIANCES FROM STRUCTURAL DRAWINGS AND SPECIFICATIONS, OR ADJUSTMENTS REQUIRED RESULTING FROM CONDITIONS ENCOUNTERED AT THE JOB SITE, AND IS THE SOLE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.

BMW DESIGN & DRAFTING MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE CONSTRUCTION DRAWINGS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS OR OMISSIONS WHICH MAY AFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF ALL TRADES AND SUB TRADES TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE COMMENCING WITH THEIR PORTION OF THE CONSTRUCTION. SHOULD AND DISCREPANCIES BE FOUND ON THESE PLANS PLEASE ADVISE OUR OFFICE SO WE CAN MAKE THE NECESSARY CORRECTIONS.

**BASEMENT NOTES**

BUILDERS SPECIFICATION MAY GOVERN OVER THESE NOTES

**FOUNDATION WALL CONSTRUCTION**

8" THK. CONCRETE WALL REINFORCED WITH (3) ROWS 2-10M CONT. ON 20"x8" THK. STRIP FOOTING REINFORCED WITH 2-10M CONT. (TYP.) (FOOTING REQUIREMENTS TO BE VERIFIED BY SOILS REPORT)

**GARAGE FOUNDATION WALL CONSTRUCTION**

8" THK. CONCRETE WALL REINFORCED WITH (3) ROWS 2-10M CONT. ON 20"x8" THK. STRIP FOOTING REINFORCED WITH 2-10M CONT. (TYP.) (FOOTING REQUIREMENTS TO BE VERIFIED BY SOILS REPORT)

**PILE CONSTRUCTION**

12" DIA. x 12'-0" LONG CONC. PILES R/W WITH 4-10M

**COLUMN FOOTINGS**

STEEL TELEPOST ON 42" SQ.x10" THK. FOOTING R/W 6'-15M E/W. TYPICAL  
-TELEPOST AND CONCRETE PAD SIZES TO BE VERIFIED ONCE BEAM LOADS ARE KNOWN

**GARAGE SLAB**

5" THK. CONCRETE SLAB R/W 10M @ 18" O/C E.W. ON COMPACTED FILL MATERIAL (TYP.)  
C/W 12' LONG PILES R/W 4-10M VERTICAL

**BASEMENT SLAB**

3-1/2" THK CONC. ON 6 MIL POLY VAPOUR BARRIER ON COMPACTED SAND. (REINFORCE IF REQUIRED)

**GENERAL NOTES**

-PROVIDE CONTINUOUS FILTER FABRIC SOCK AROUND 4" WEEPING TILE TO BE INSTALLED AROUND ENTIRE PERIMETER OF STRIP FOOTING WITH MIN. 12" GRAVEL COVER AND TIED TO DRAINAGE SYSTEM ACCORDING TO LOCAL BYLAWS (TYP.)

-PROVIDE GALVANIZED WINDOW WELLS TO SUIT GRADE. FILL WELLS WITH FILTER FABIC UNDER 6" OF GRAVEL. PROVIDE PVC PIPE CONNECTION TO WEEPING TILE. MODIFY MAIN FLOOR ELEVATION AS REQ'D. VERIFY CONDITION ON SITE.

-PROVIDE JOIST BLOCKING AS PER JOIST MANUF. (TYP.)

-PROVIDE 2-10M DOWELS T&B, INTO FOUNDATION WALL AT GRADE BEAM/FOUNDATION WALL TIE IN LOCATIONS.

-VERIFY BEAM AND JOIST SIZES WITH MANUF. (TYP.)

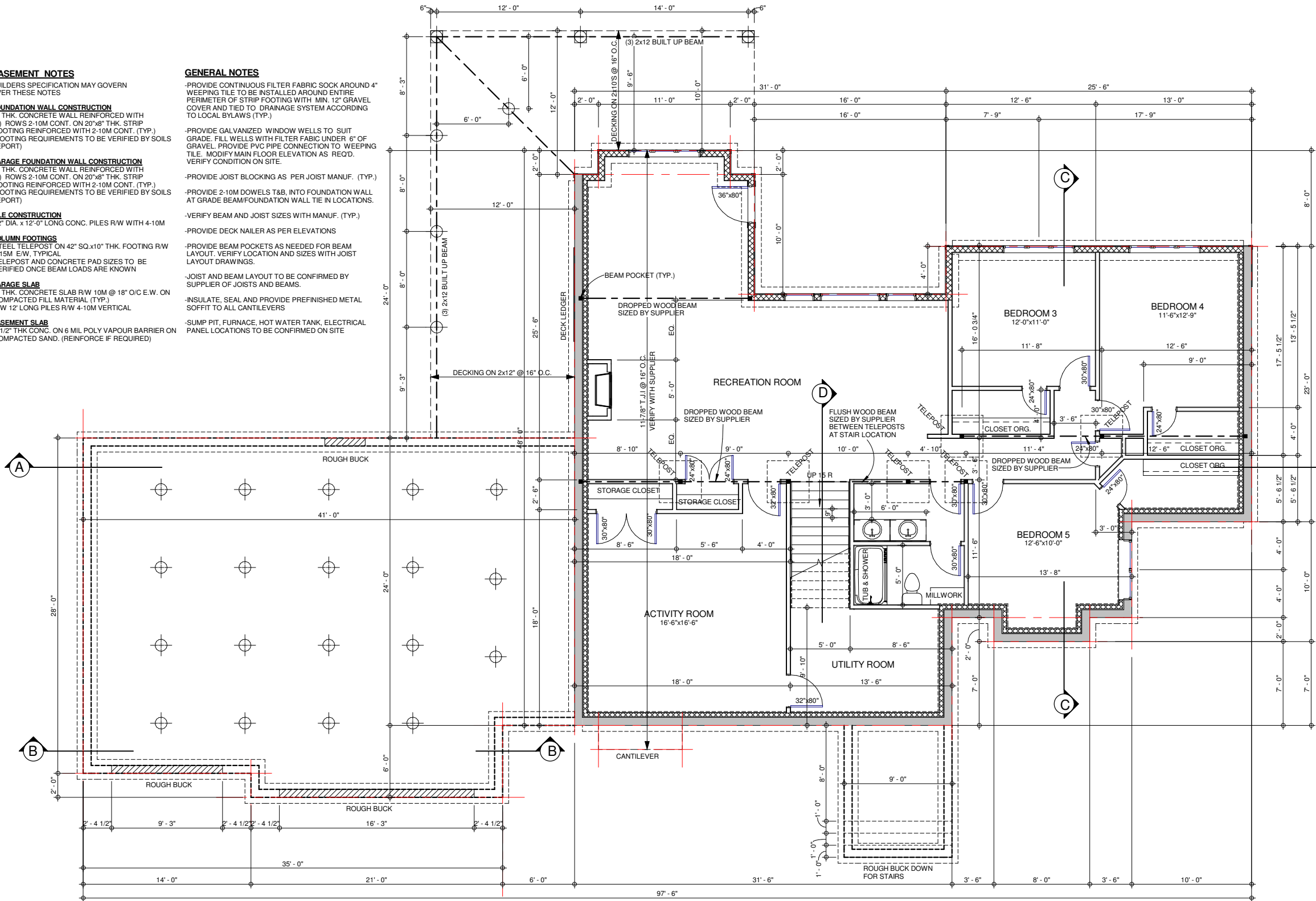
-PROVIDE DECK NAILER AS PER ELEVATIONS

-PROVIDE BEAM POCKETS AS NEEDED FOR BEAM LAYOUT. VERIFY LOCATION AND SIZES WITH JOIST LAYOUT DRAWINGS.

-JOIST AND BEAM LAYOUT TO BE CONFIRMED BY SUPPLIER OF JOISTS AND BEAMS.

-INSULATE, SEAL AND PROVIDE PREFINISHED METAL SOFFIT TO ALL CANTILEVERS

-SUMP PIT, FURNACE, HOT WATER TANK, ELECTRICAL PANEL LOCATIONS TO BE CONFIRMED ON SITE



**BASEMENT FLOOR PLAN**  
3/16" = 1'-0"

**WALL LEGEND**

- CONC. FOUNDATION WALL WITH INTERIOR FROST WALL
- EXTERIOR 2x6 INSULATED WALL
- GARAGE/HOUSE 2x6 COMMON WALL INSULATE AND SEAL
- 2x6 INTERIOR PLUMBING/BEARING WALL
- 2x4 INTERIOR WALL

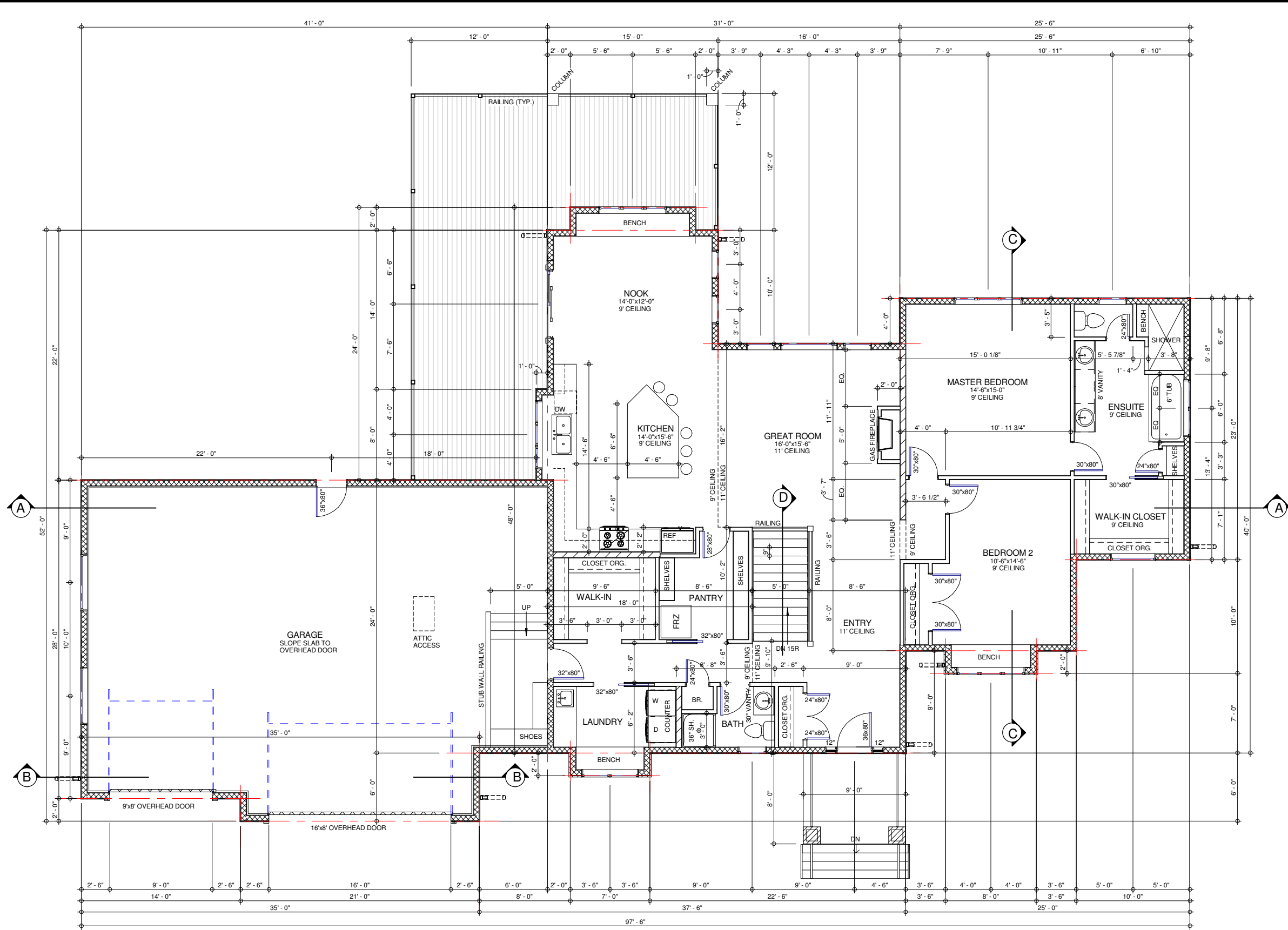
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Project No: 2012-50 Date: AUG 2012 Scale: 3/16" = 1'-0" Drawn by: BMW	Legal Description Lot: 19 Block: Plan: Subdivision: spring lake ranch Client Approval:	Drawing Title: BASEMENT FLOOR PLAN	Builder: Design & Drafting 8520-75 AVE EDMONTON, AB T5C 1V1

**A-2**

**SPRING LAKE RANCH #2 RESIDENCE**



MAIN FLOOR PLAN  
3/16" = 1'-0"

- WALL LEGEND**
- CONC. FOUNDATION WALL WITH INTERIOR FROST WALL
  - EXTERIOR 2x6 INSULATED WALL
  - GARAGE/HOUSE 2x6 COMMON WALL INSULATE AND SEAL
  - 2x6 INTERIOR PLUMBING/BEARING WALL
  - 2x4 INTERIOR WALL

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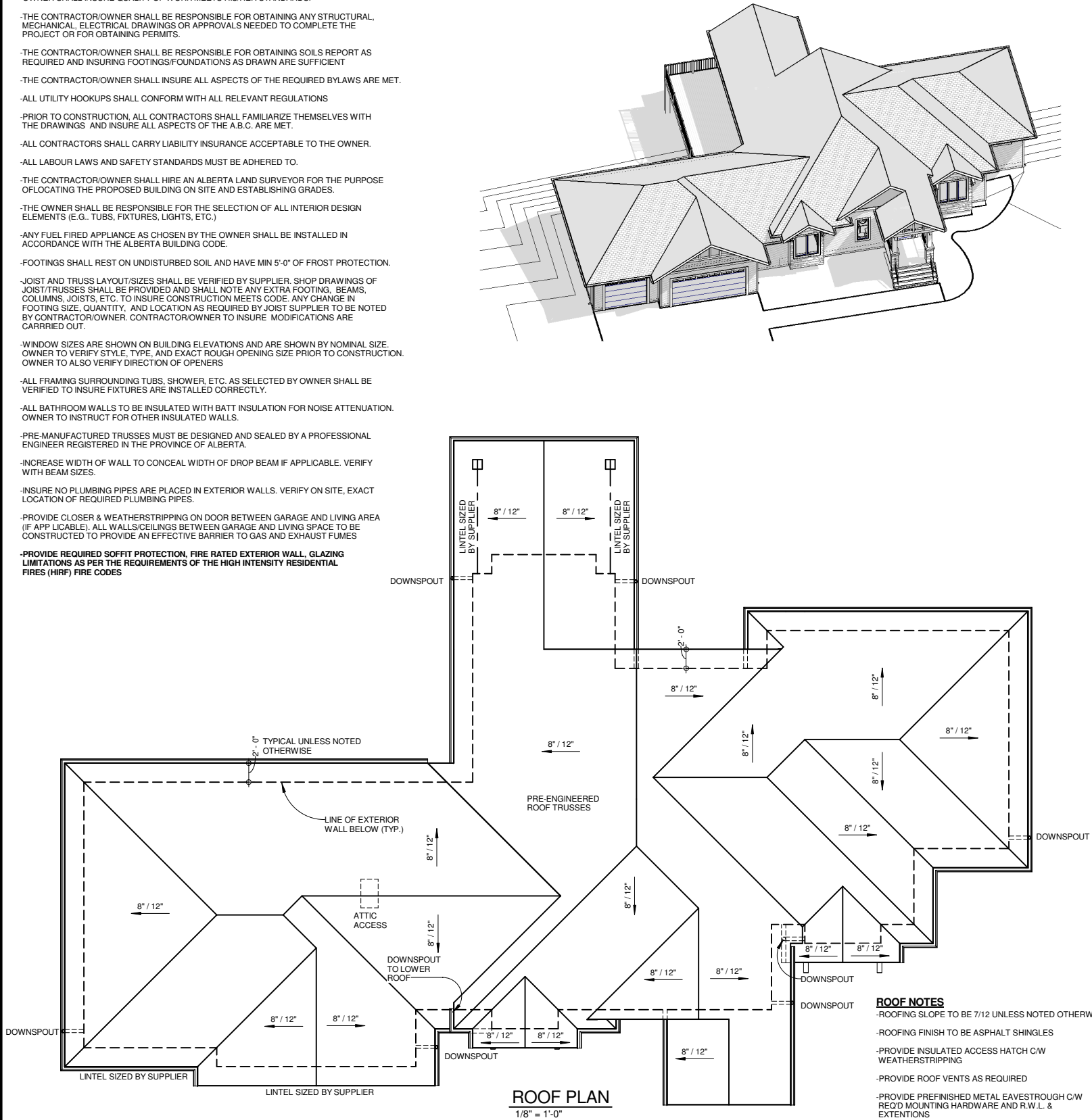
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<b>B-M-W</b> Design & Drafting 8320-75 AVE EDMONTON, AB T6C 1K5	Drawing Title:	MAIN FLOOR PLAN	
	Builder:	Spring Lake Ranch	
	Client Approval:		
Legal Description:		Project No:	2012-50
Lot: 19		Date:	AUG 2012
Block:		Scale:	3/16" = 1'-0"
Plan:		Drawn by:	BMW
Survey/Division:		Subdivision:	Spring Lake Ranch

SPRING LAKE RANCH #2 RESIDENCE

GENERAL NOTES

- ALL SCOPES OF WORK SHALL MEET THE ALBERTA BUILDING CODE (LATEST EDITION).
- THE CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS REQUIRED FOR COMPLETING PROJECT.
- OWNER SHALL INSURE QUALITY OF WORK MEETS HIS/HER STANDARDS.
- THE CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR OBTAINING ANY STRUCTURAL, MECHANICAL, ELECTRICAL DRAWINGS OR APPROVALS NEEDED TO COMPLETE THE PROJECT OR FOR OBTAINING PERMITS.
- THE CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR OBTAINING SOILS REPORT AS REQUIRED AND INSURING FOOTINGS/FOUNDATIONS AS DRAWN ARE SUFFICIENT
- THE CONTRACTOR/OWNER SHALL INSURE ALL ASPECTS OF THE REQUIRED BYLAWS ARE MET.
- ALL UTILITY HOOKUPS SHALL CONFORM WITH ALL RELEVANT REGULATIONS
- PRIOR TO CONSTRUCTION, ALL CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH THE DRAWINGS AND INSURE ALL ASPECTS OF THE A.B.C. ARE MET.
- ALL CONTRACTORS SHALL CARRY LIABILITY INSURANCE ACCEPTABLE TO THE OWNER.
- ALL LABOUR LAWS AND SAFETY STANDARDS MUST BE ADHERED TO.
- THE CONTRACTOR/OWNER SHALL HIRE AN ALBERTA LAND SURVEYOR FOR THE PURPOSE OF LOCATING THE PROPOSED BUILDING ON SITE AND ESTABLISHING GRADES.
- THE OWNER SHALL BE RESPONSIBLE FOR THE SELECTION OF ALL INTERIOR DESIGN ELEMENTS (E.G. TUBS, FIXTURES, LIGHTS, ETC.)
- ANY FUEL FIRED APPLIANCE AS CHOSEN BY THE OWNER SHALL BE INSTALLED IN ACCORDANCE WITH THE ALBERTA BUILDING CODE.
- FOOTINGS SHALL REST ON UNDISTURBED SOIL AND HAVE MIN 5'-0" OF FROST PROTECTION.
- JOIST AND TRUSS LAYOUT/SIZES SHALL BE VERIFIED BY SUPPLIER. SHOP DRAWINGS OF JOIST/TRUSSES SHALL BE PROVIDED AND SHALL NOTE ANY EXTRA FOOTING, BEAMS, COLUMNS, JOISTS, ETC. TO INSURE CONSTRUCTION MEETS CODE. ANY CHANGE IN FOOTING SIZE, QUANTITY, AND LOCATION AS REQUIRED BY JOIST SUPPLIER TO BE NOTED BY CONTRACTOR/OWNER. CONTRACTOR/OWNER TO INSURE MODIFICATIONS ARE CARRIED OUT.
- WINDOW SIZES ARE SHOWN ON BUILDING ELEVATIONS AND ARE SHOWN BY NOMINAL SIZE. OWNER TO VERIFY STYLE, TYPE, AND EXACT ROUGH OPENING SIZE PRIOR TO CONSTRUCTION. OWNER TO ALSO VERIFY DIRECTION OF OPENERS
- ALL FRAMING SURROUNDING TUBS, SHOWER, ETC. AS SELECTED BY OWNER SHALL BE VERIFIED TO INSURE FIXTURES ARE INSTALLED CORRECTLY.
- ALL BATHROOM WALLS TO BE INSULATED WITH BATT INSULATION FOR NOISE ATTENUATION. OWNER TO INSTRUCT FOR OTHER INSULATED WALLS.
- PRE-MANUFACTURED TRUSSES MUST BE DESIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE PROVINCE OF ALBERTA.
- INCREASE WIDTH OF WALL TO CONCEAL WIDTH OF DROP BEAM IF APPLICABLE. VERIFY WITH BEAM SIZES.
- INSURE NO PLUMBING PIPES ARE PLACED IN EXTERIOR WALLS. VERIFY ON SITE, EXACT LOCATION OF REQUIRED PLUMBING PIPES.
- PROVIDE CLOSER & WEATHERSTRIPPING ON DOOR BETWEEN GARAGE AND LIVING AREA (IF APP LICABLE). ALL WALLS/CEILINGS BETWEEN GARAGE AND LIVING SPACE TO BE CONSTRUCTED TO PROVIDE AN EFFECTIVE BARRIER TO GAS AND EXHAUST FUMES
- PROVIDE REQUIRED SOFFIT PROTECTION, FIRE RATED EXTERIOR WALL, GLAZING LIMITATIONS AS PER THE REQUIREMENTS OF THE HIGH INTENSITY RESIDENTIAL FIRES (HIRF) FIRE CODES



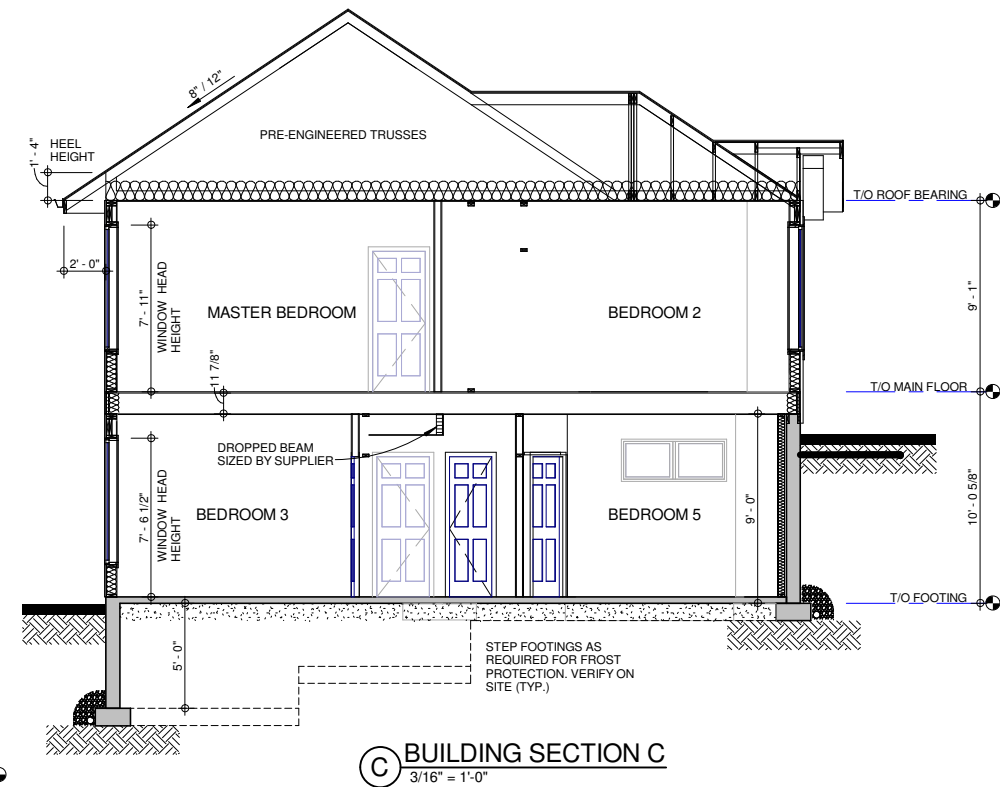
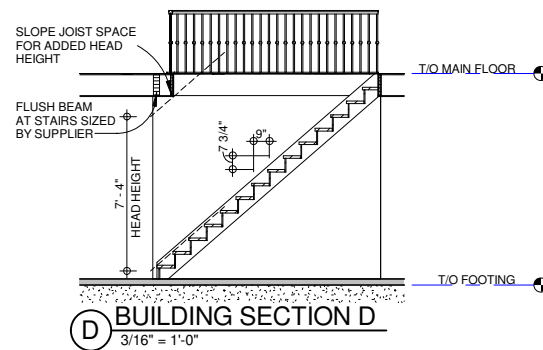
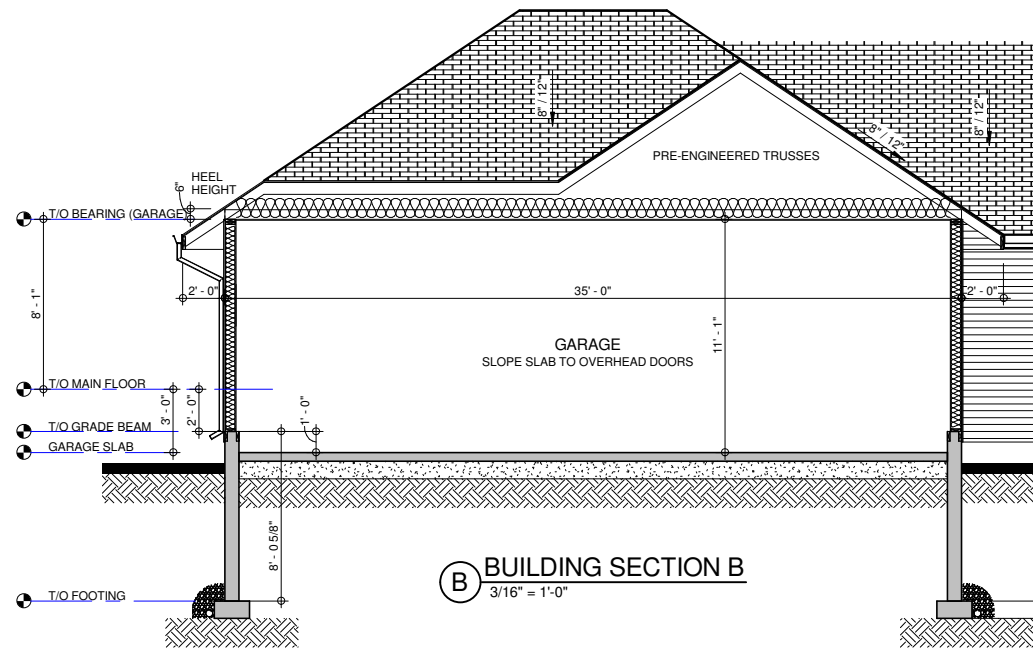
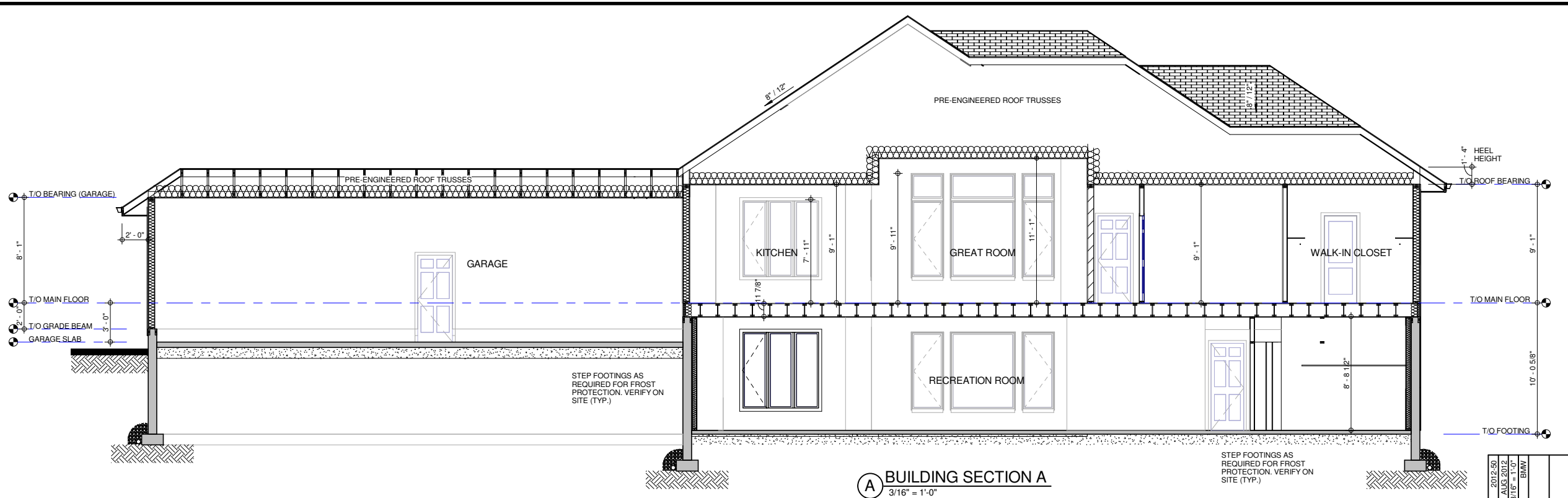
- ROOF NOTES**
- ROOFING SLOPE TO BE 7/12 UNLESS NOTED OTHERWISE
  - ROOFING FINISH TO BE ASPHALT SHINGLES
  - PROVIDE INSULATED ACCESS HATCH C/W WEATHERSTRIPPING
  - PROVIDE ROOF VENTS AS REQUIRED
  - PROVIDE PREFINISHED METAL EAVESTROUGH C/W REQ'D MOUNTING HARDWARE AND R.W.L. & EXTENTIONS
  - PRE-MANUFACTURED HIGH HEEL ROOF TRUSSES TO BE DESIGNED AND SEALED BY A PROFESSIONAL ENGINEER
  - VERIFY LOCATION OF ALL R.W.L ON SITE

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A-4	B·M·W	Drawing Title:  Roof Plan	Legal Description:  WORKING DRAWINGS ARE A GRAPHIC PREDICTOR AND NOT A FINAL. ANY
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Project No.: 2012-50 Date: AUG 2010 Scale: 3/16" = 1'-0" Drawn by: BMW	Legal Description: Lot: 19 Block: Plan: Subdivision: Spring Lake Ranch Client Approval:	NOTING: DRAWINGS ARE GRAPHIC REPRESENTATION ONLY. ACTUAL PRODUCTS AND MATERIALS USED MAY VARY FROM DEPICTED ON DRAWINGS. SALES CONTRACT AND SPECIFICATIONS SHALL PRECEDE OVER THESE DRAWINGS.	B-M-W Design & Drafting 8520-175 AVE EDMONTON, AB T5C 1S5	Drawing Title: Builder:	BUILDING SECTIONS	A-5

SPRING LAKE RANCH #2 RESIDENCE

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